



# SUMTER CITY-COUNTY PLANNING COMMISSION

POST OFFICE BOX 1449 / 12 W. Liberty St.

Sumter, SC 29151

(803) 774-1660



## MOBILE HOME PERMIT APPLICATION

Jurisdiction:  City  County  Town of Mayesville  Town of Pinewood

MH Owner  Applicant  \_\_\_\_\_  
*Name* *Phone*

Owner's Current Mailing Address \_\_\_\_\_  
*Street* *City* *State* *ZIP*

Mobile Home Dealer/Seller \_\_\_\_\_  
*Name*

Dealer/Seller's Address \_\_\_\_\_  
*Street* *City* *State* *ZIP*

Mobile Home Placement Address \_\_\_\_\_  
*Street* *City* *State* *ZIP*

Property Owner \_\_\_\_\_

Licensed MH Installer \_\_\_\_\_ License # \_\_\_\_\_

Installer Address \_\_\_\_\_ Phone \_\_\_\_\_

Utilities:  Well  Septic  Public Water  Public Sewer  Community: Water  Sewer

**Note:** The acceptance of this application for review and the payment of fees does not constitute approval of this application. Approval is granted only upon the receipt of a permit.

**THIS APPLICATION IS NOT A PERMIT.**

I hereby certify that I have read this application and the information supplied herein is true and correct to the best of my knowledge. I understand that falsifying any information herein may result in nullification of this request and/or appropriate legal remedies.

\_\_\_\_\_  
*Print Name* *Signature* *Date*

### OFFICE USE ONLY

TMS # \_\_\_\_\_ Zoning District \_\_\_\_\_ Seismic Zone \_\_\_\_\_ TAZ \_\_\_\_\_

Lot Size \_\_\_\_\_  Corner Lot  Interior Lot Max Height \_\_\_\_\_ MH Certification ID \_\_\_\_\_

Choose One:  New Lot Created  Existing Lot (no prior MH)  Replacement MH  MH Bought in Place

Minimum Setbacks: Front \_\_\_\_\_ Rear \_\_\_\_\_ MH Serial Number \_\_\_\_\_

Side (E) \_\_\_\_\_ Side (I) \_\_\_\_\_ Make \_\_\_\_\_ Year \_\_\_\_\_

Structure in Flood Hazard Area  Yes  No Base Flood Elevation (if applicable) \_\_\_\_\_ FIRM Panel \_\_\_\_\_

Overlay District  APZ  DNL  NA (Noise Attenuation)  Poinsett RCD  None

Comments \_\_\_\_\_

Planning Official \_\_\_\_\_ Building Official \_\_\_\_\_

# **MOBILE HOME INSPECTION REQUIREMENTS**

## **(Single-Wide & Double-Wide)**

In order to expedite mobile home inspections in a timely manner, it is the policy of the Sumter City-County Building Inspections Department to inspect mobile homes only when they are ready for occupancy. It will be the responsibility of the mobile home dealer or owner to:

1. Ensure that all required permits have been obtained and approved prior to placing homes on property. Zoning and setbacks requirements must be met.
2. Have foundation piers in place per manufacturer's instructions or State requirements, whichever is applicable, at a minimum of 2 inches below finished ground level as well as all required tie-downs.
3. Have the water and sewer/septic lines installed.
4. Have electrical service and lines installed (diagram enclosed).
5. Have the steps, landings, and railings installed per code.
6. Have any outside HVAC units installed per current code.
7. Home must be skirted; skirting must be left open at the closest place adjacent to the towing device (tongue) until after approval.
8. Have a copy of the bill of sale/title available.
9. Have a copy of DHEC permits for well and/or septic system or statement from the City Water Department.
10. Green decal issued by the Sumter County Treasurer's Office must be in front window before calling for an inspection. Lack of detail will result in a failed inspection and a \$50 re-inspection fee.
11. Have a signed copy of installation certificate available at time of inspection.
12. Have copy of moving permit for inspector.
13. Mobile home must be installed by Licensed Installer.

**NOTE:** Towing devices permanently welded to the frame or which are part of the frame does not have to be removed if the mobile home is located outside of the Sumter City Limits. However, if the towing device is bolted and/or spot-welded to the frame so that it can be removed, it must be removed before electrical power is approved.

It shall be the responsibility of the housing dealer or owner to hire only qualified contractors and ensure that the work conforms to the requirements of the applicable codes of the City/County and State of South Carolina laws.

Please call 803-774-1634 to schedule an inspection. You must give at least 24 hours notice for inspection. Someone must be present at the home at time of inspection.

# **POLICY LETTER**

## **ADDITIONS TO MANUFACTURED HOME**

The Sumter City-County Building Inspections Department has inspected numerous additions to Manufactured Housing commonly known as Mobile Homes. During these inspections it has been uncovered that the Manufactured Homes have been structurally altered which could have changed the loading characteristics of this engineered structure. Therefore, the Building Inspections Department now requires drawings to be submitted showing how additions are to be erected. Drawings must be dimensioned and drawn upon suitable materials. They shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of the International Residential Code 2015 Edition and relevant laws, ordinances, rules and regulations as determined by the Building Official.

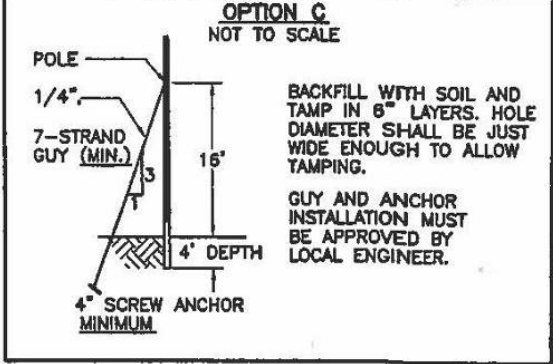
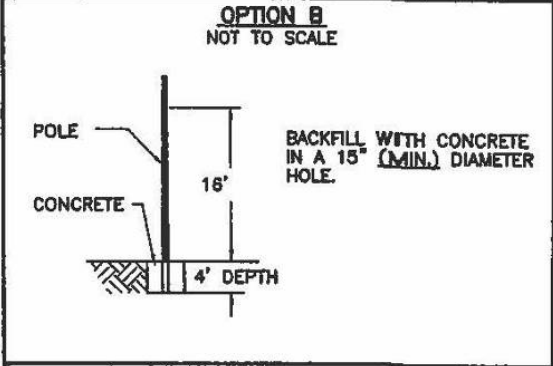
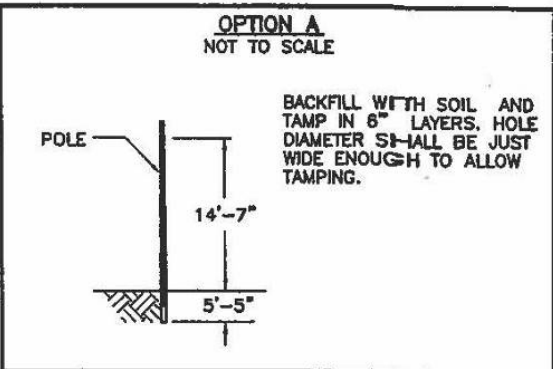
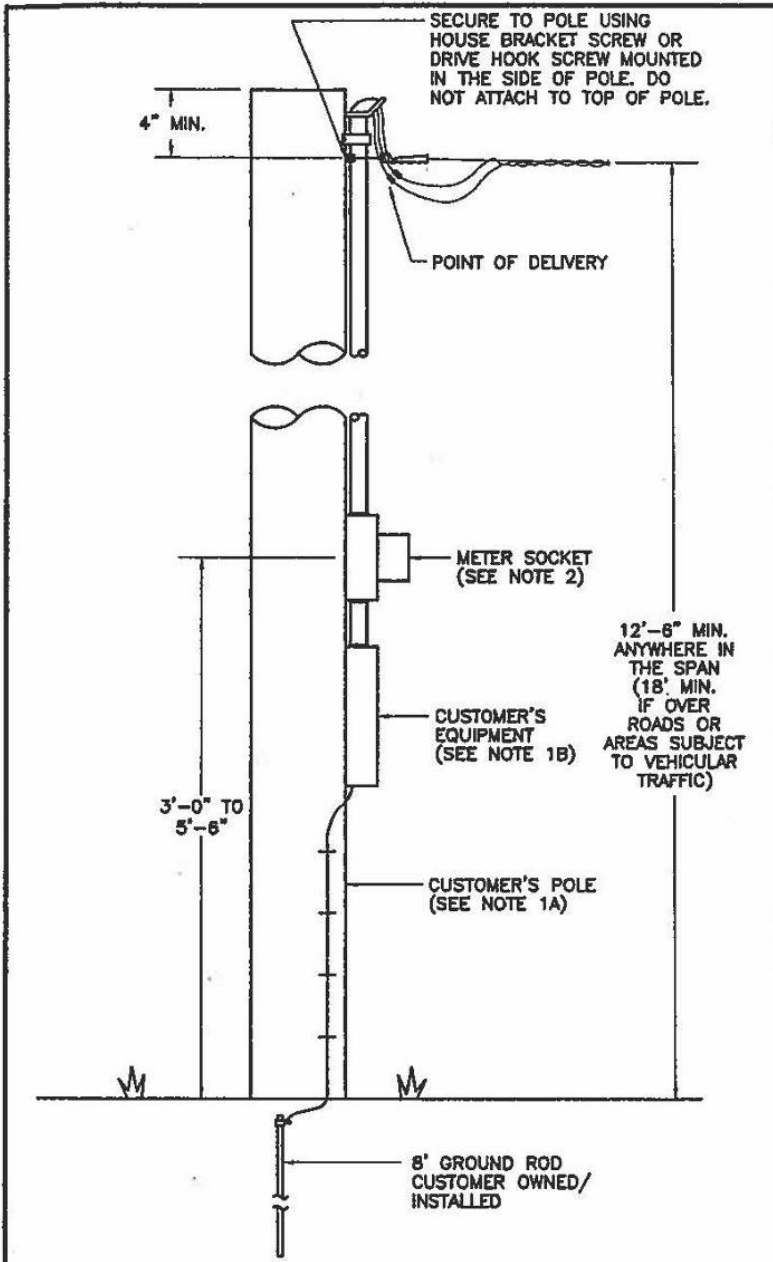
At a minimum, the following items must be shown:

1. **Site Plan.** Must show to scale the size and location of new construction and existing structures on the site, distance from the property line and location of utilities (water, sewer and electrical lines).
2. **Footing design.** Must show the depth, width, height and any reinforcement to be placed within the footing. (Size and method of reinforcement must be shown if installed).
3. **Load bearing foundation walls.** Must show the exterior foundation wall in sufficient detail to determine compliance with the Residential Code. This includes anchoring, size, width and construction materials.
4. **Exterior wall envelope.** Must show the exterior wall in sufficient detail to determine compliance with the Residential Code. This should also include any electrical, plumbing, mechanical, etc. in the exterior wall
5. **Modification to the Manufactured home exterior wall** (that will become an interior wall of the addition). Show all existing openings and structural elements to be installed (i.e. Headers, girders, jack studs, etc.).

The important factor to keep in mind during this design is that there may not be any additional loads imposed on the existing Manufactured Home. All structural loads must be transferred to the ground through the footings. These drawings must show how you are going to provide for this transfer of all loads. In addition, all other systems installed, i.e., electrical, plumbing, heating and air system, must be installed in accordance with the Residential Code and modifications are required to be shown on drawings submitted.

Two (2) sets of drawings must be submitted with the Residential Building Permit and no work is to be started until the drawings have been reviewed and permits issued.

If there are any questions, please contact the Building Official at 803-774-1628 or Plans Review at 803-774-1627 or the Chief Inspector at 803-774-1618.



**NOTES:**

**1. OWNER PROVIDE AND INSTALL**

A. A 20' CLASS 9 SOUTHERN YELLOW PINE (SYP) POLE OR A 6" X 6" SYP POST THAT IS PROPERLY TREATED WITH A WOOD PRESERVATIVE FOR EARTH CONTACT. SET POLE IN ACCORDANCE WITH OPTION A, B OR C.

B. SERVICE ENTRANCE, ALL SERVICE EQUIPMENT BEYOND METER, SERVICE EQUIPMENT GROUND IN ACCORDANCE WITH N.E.C.

**2. OWNER WILL INSTALL**

A. METER SOCKET IN ACCORDANCE WITH N.E.C.

3. SETTING DEPTHS FOR THE THREE OPTIONS ARE FOR 350 LB. ICE TENSIONS.

4. THIS DRAWING MAY BE USED FOR VARIOUS TYPES OF OVERHEAD SERVICES:

A. OVERHEAD MOBILE HOME SERVICES

B. NON-RESIDENTIAL SERVICES

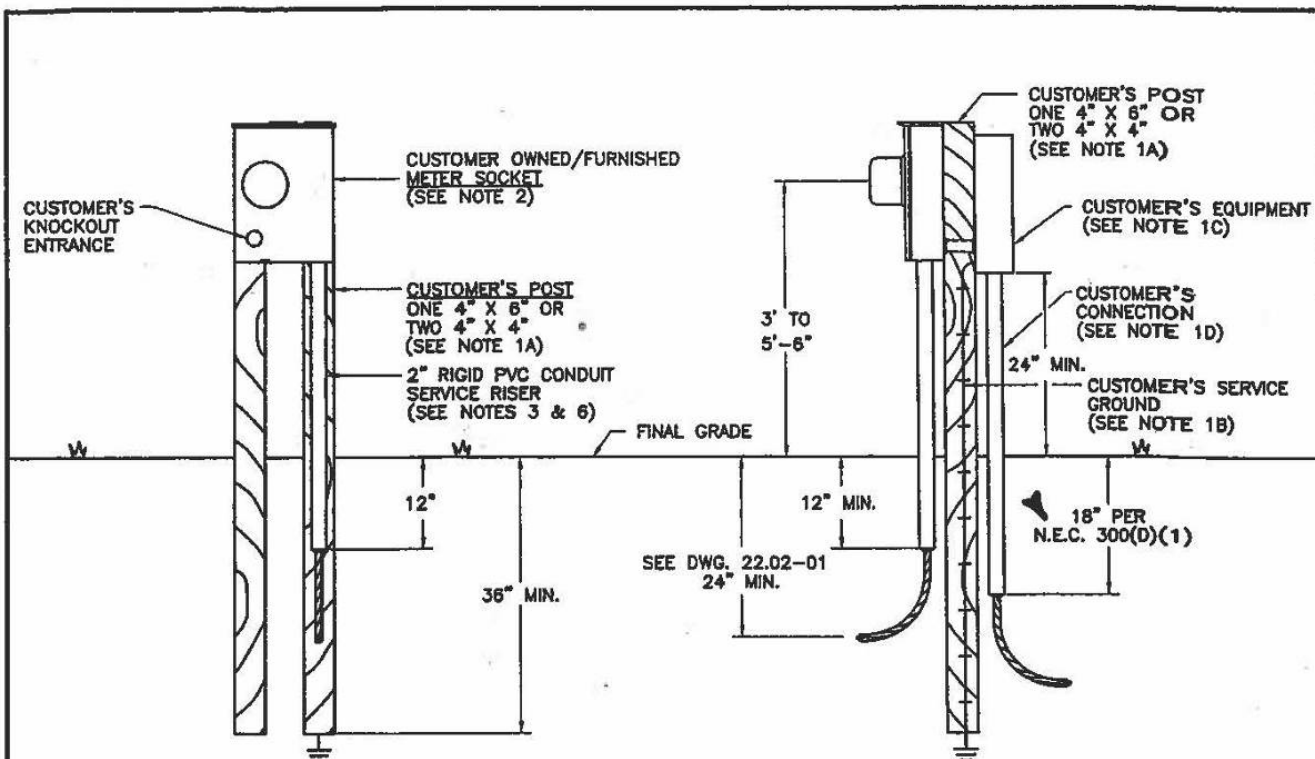
3				
2				
1	3/9/11	SIMPSON	SIMPSON	ELKINS
0	2/8/10	SIMPSON	SIMPSON	ELKINS
REVISED	BY	CK'D	APPR.	

**OVERHEAD SERVICE POLE**



**CAR**

DWG.  
**FIG 9**



**CUSTOMER INSTALLATION**

**1. CUSTOMER WILL FURNISH AND INSTALL:**

- (A) ONE 4" X 6" \*OR TWO 4" X 4" TREATED POSTS SUITABLE TO COMPANY, 18" MIN. FROM THE MOBILE HOME FOR MOUNTING THE SERVICE RISER, METER SOCKET, AND SERVICE EQUIPMENT. METERING EQUIPMENT SHALL FACE AWAY FROM MOBILE HOME SUCH THAT METER IS EASILY READABLE AND ACCESSABLE. OTHER CONSTRUCTION IS PERMISSIBLE WITH LOCAL ENGINEER'S APPROVAL.
- (B) SERVICE GROUND IN ACCORDANCE WITH N.E.C.
- (C) ALL EQUIPMENT, MOUNTING HEIGHTS, AND CLEARANCES BEYOND THE METER SOCKET IN ACCORDANCE WITH N.E.C.
- (D) ALL CONNECTIONS TO THE MOBILE HOME IN ACCORDANCE WITH N.E.C.

**2. CUSTOMER WILL FURNISH, INSTALL, AND OWN METER SOCKET. TOP OF SOCKET MUST BE LEVEL FRONT TO BACK AND SIDE TO SIDE.**

**COMPANY INSTALLATION**

- 3. COMPANY WILL PROVIDE AND INSTALL THE UNDERGROUND SERVICE LATERAL ACCORDING TO COMPANY'S STANDARD PRACTICES.
- 4. BOTTOM OF TRENCH MUST BE FIRMLY TAMPED NEAR POST. CABLE MUST BE POSITIONED FIRMLY AGAINST TAMPED EARTH DURING BACKFILLING. BEFORE CABLE IS CUT AFTER BACK-FILLING, PUSH CABLE DOWN IN CONDUIT TO PROVIDE AS MUCH SLACK AS POSSIBLE. THIS IS NECESSARY TO PREVENT SETTLING OF EARTH FROM PULLING ON CABLE AND DAMAGING METER BASE TERMINALS.
- 5. WIRE BRUSH CONDUCTORS AND APPLY INHIBITOR TO ALUMINUM CONDUCTORS.
- 6. INSTALL GROUNDING BUSHING WASHER AND GROUNDING JUMPER WHERE SERVICE RISER IS RIGID STEEL.
- 7. POINT OF DELIVERY IS WHERE COMPANY'S CONDUCTORS ATTACH TO METER SOCKET.

\*SOME COUNTIES WITHIN COMPANY'S SERVICE AREA REQUIRE THE USE OF (ONE) SINGLE 4" X 6" POST.

3	3/9/11	SIMPSON	SIMPSON	ELJNS
2	3/10/10	SIMPSON	SIMPSON	ELJNS
1	4/28/08	SIMPSON	SIMPSON	HOYT
0	8/8/03	CECONE	HUNNERY	WOOLSEY
REVISED	BY	CK'D	APPR.	

**UNDERGROUND MOBILE HOME SERVICE  
(POST MOUNTED)**



**CAR**

DWG.  
**FIG 4**

## Mobile Home Stairs

Mobile home stairs must meet certain criteria to be code compliant. The following diagrams show the normal build to meet these codes. Please note that a **3' x 3' landing must be at the top of the stairs, directly outside of the doors entering the mobile home.** Stair dimensions and handrail dimensions are also given on the below diagrams. Other design methods may be acceptable, please contact the Building Department or any further questions.

